

January 13, 2021

Committee Members,

This document is prepared to speak to the proposal for 81 Clinton Street, Toronto. There are 6 variances associated with this application and the project is described as a renovation to a detached dwelling to create 3 separate units. One in the basement, one on the ground floor and one on the second and third floors. The requested variances are described below with reasons for why they should be considered minor.

Variance 1 – Pedestrian Entrance to Secondary Suite

A pedestrian entrance to a secondary suite is not permitted in the front wall of a detached house. This particular variance is common for projects involving secondary suites where the feasibility of providing an entrance at the rear of the building is in question (or not desirable). For this project, the entrance to the secondary basement suite makes the most sense in terms of the existing conditions of the building. The material quality and essential design of the house is not altered in any significant way. For these reasons, the variance should be considered as minor.



Figure 1 Front View before and after



Figure 2 Basement Entry

Variance 2 – Interior Floor Area

This variance is required because the interior area of the secondary suites in the dwelling will be more than 45% of the entire dwelling area. The area of each suite in this proposed 3 unit dwelling is primarily a function of the floor they are located on. In this case, by design, the floor area of the 2 secondary suites will be slightly larger than 45% of the entire dwelling unit. It should be noted that a 3 unit dwelling is a permitted use and with that in mind, the variance should be considered as minor.

Variance 3 – Exterior Alteration

This variance concerns work carried out on the front face of a building where a secondary suite is involved. In essence, the bylaw requires that a renovation to accommodate a secondary suite does not alter the exterior front facing wall or roof of the building. This variance is closely associated with Variance 1. The change to the front face of the building will involve the stairs to the secondary suite and a new dormer at the roof level to provide more headroom in the space. The changes are discreet and in keeping with the geometry and character of the existing building.



Figure 3 Front Dormer

Variance 4 – Building Depth

This variance concerns the overall depth of the building. For this project, there is no increase to the depth of the building. The existing building depth is already over and has been captured with the list of variances for this project. For this reason, because the depth is existing, the variance should be considered as minor

Variance 5 – Gross Floor Area (or Residential Floor Space Index FSI)

This variance concerns the Residential Floor Space index of the Building which will be 0.87 times the area of the lot (267.83 sm) instead of the allowed 0.69 times the area of the lot (211.53 sm). An FSI of 0.87 is not excessive when compared to many lots in the area and previous committee decisions. For this reason, the variance should be considered as minor.

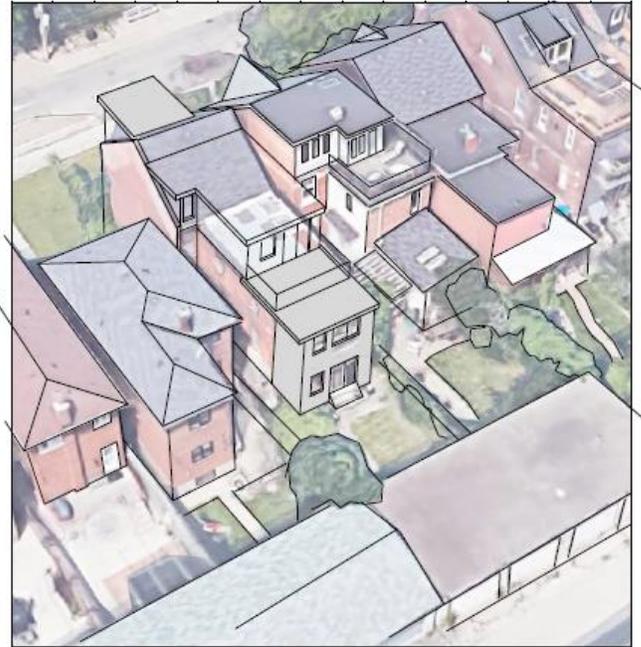


Figure 4 *Aerial View*

The aerial views above show the third floor addition which extends about half way over the existing roof. The resulting mass of the building is similar to what other houses have done nearby by coming out to the third floor roof with either a deck or addition. The overall height of the building does not change. The setback of the third floor wall also reduces shadow and view impact to neighbouring properties.

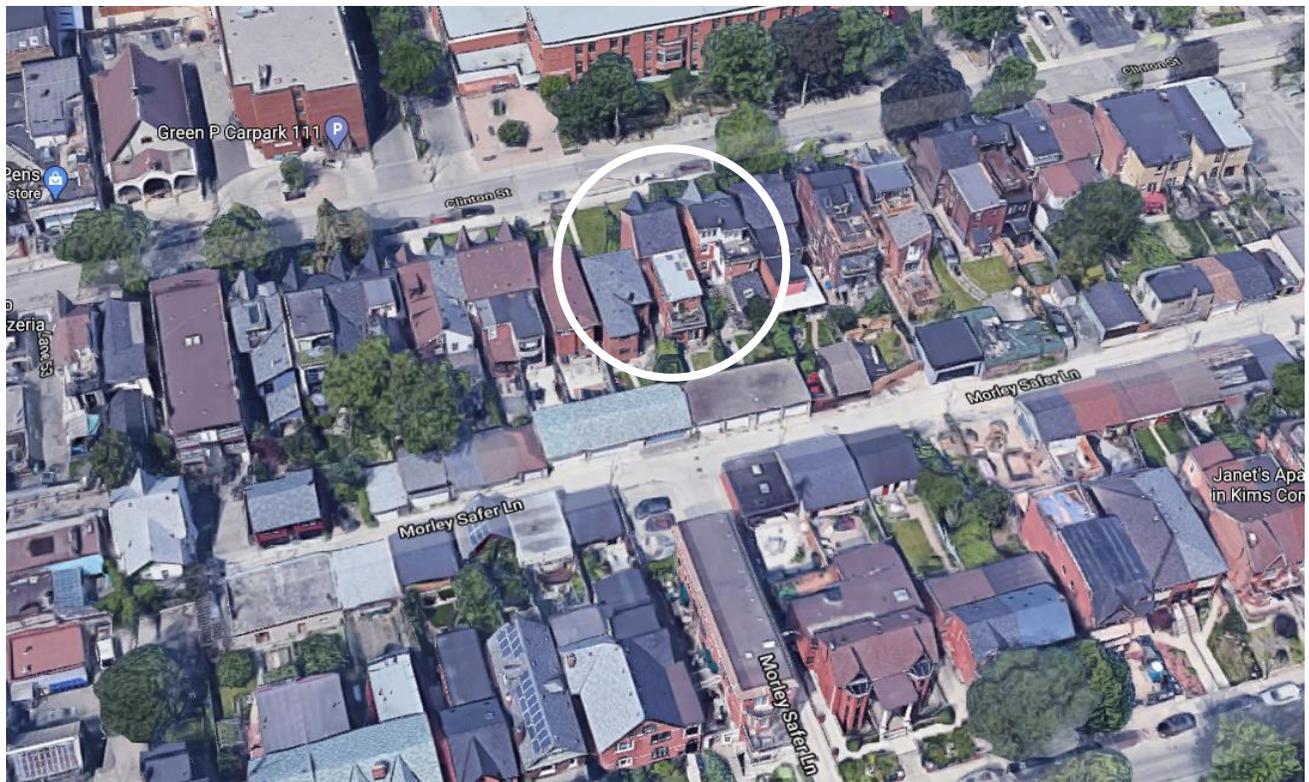


Figure 5 Aerial view

A larger aerial view is shown above to illustrate the general context of houses in the nearby area. 81 Clinton Street is outlined with the white circle. This house is one of the narrower buildings on the street. The general fabric of the roof tops in the area is characterised by third floor walk outs in the form of decks, and rear dormer additions. There would be no increase to the overall height of the building and there are no height variances associated with this application.

Variance 6 – Front Yard Landscape

This variance arises because of the new basement walkout stairs. The remainder of the front lawn as well as the boulevard space is soft landscape. For this reason, based on the size of the lot and the minimum size of the stairs, the variance is unavoidable and should be considered as minor. The requirement is for 75% soft landscaping and 40% is proposed.

Summary

This application has been pre-circulated to Planning and other agencies and comments were posted to the Application Information Centre website on November 13, 2020 expressing no concerns with the proposal. There is an indication that a report will be issued requesting privacy screening and the owners have no objection to this condition. A report has not yet been issued but the assumption is that the privacy screening would be required on the north and south sides of the deck platform on the third floor.

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