

7 CONCRETE CURB DETAIL
A1 Scale: 1"=1'-0"

OBC AND ZONING DATA

Existing Building is a food processing and distribution warehouse (Group F3) with associated office space (Group D). The proposed alteration is to add a retail 'cash and carry' outlet (Group E) at the southeast corner of the building within the confines of existing building area.

Zoning Designation IC.1

Existing Occupancies	F3 Warehouse	3739 s.m. (40248 s.f.)
	D Office	325 s.m. (3498 s.f.)
Proposed Occupancy	E Retail	209 s.m. (2249 s.f.)
Total Building Area		4273 s.m. (45996 s.f.)

Parking Requirements

(Typical size of parking space = 6.0 x 2.7 metres)

Warehouse	1 space / 100 s.m.	= 37.39 spaces
Retail Sales	3 spaces / 100 s.m.	= 2.09 spaces
Office/Administrative	3 spaces / 100 s.m.	= 3.25 spaces
Total Parking Required		42.73 spaces (43)
Total Parking Provided		62 spaces

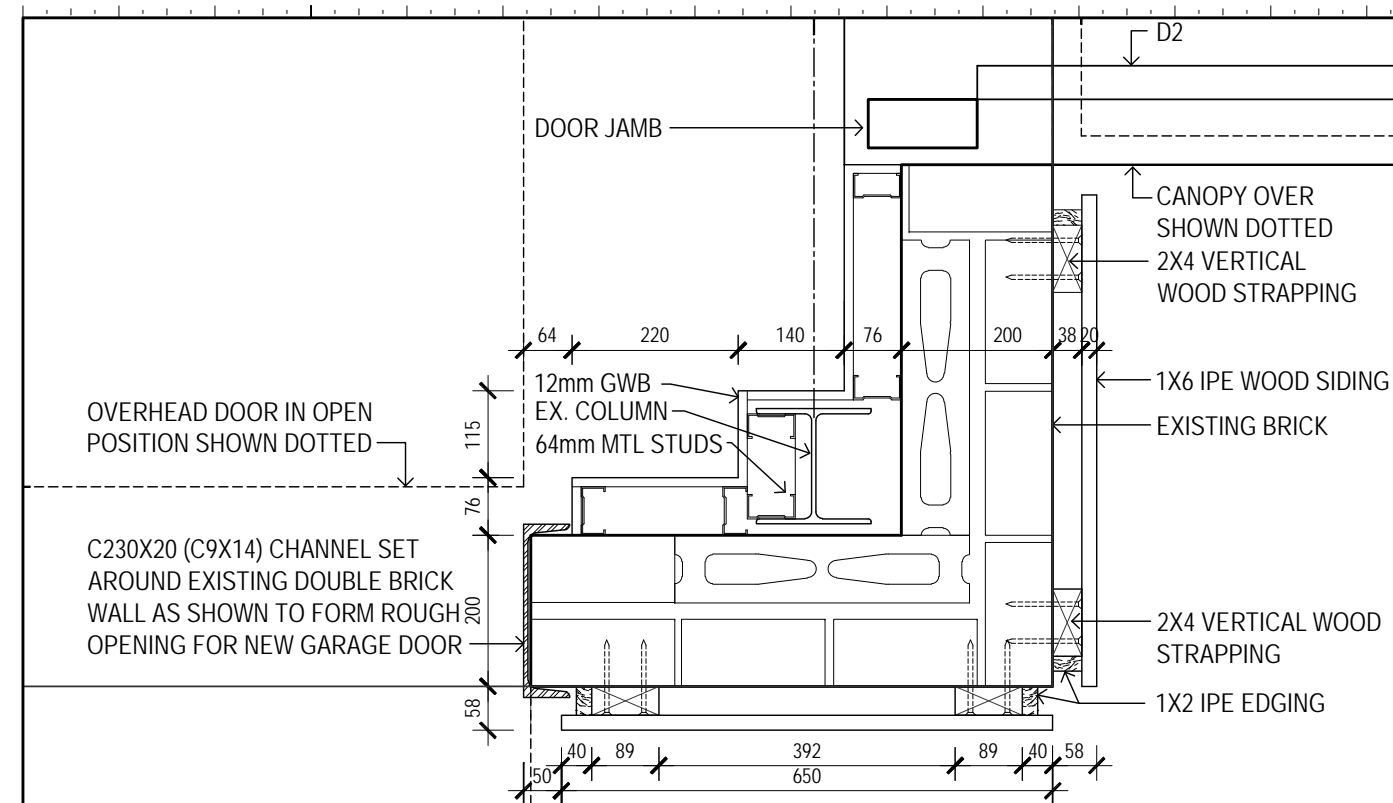
OBC 3.2.2.8 Exceptions for Major Occupancies
The area of retail occupancy for this project will be less than 10 % of the building area and therefore does not need to be considered as a major occupancy.

OBC 3.2.2.80 Group F, Division 3, One Storey
Combustible construction permitted
Sprinklers not required but provided
Fire rating for roof plane not required

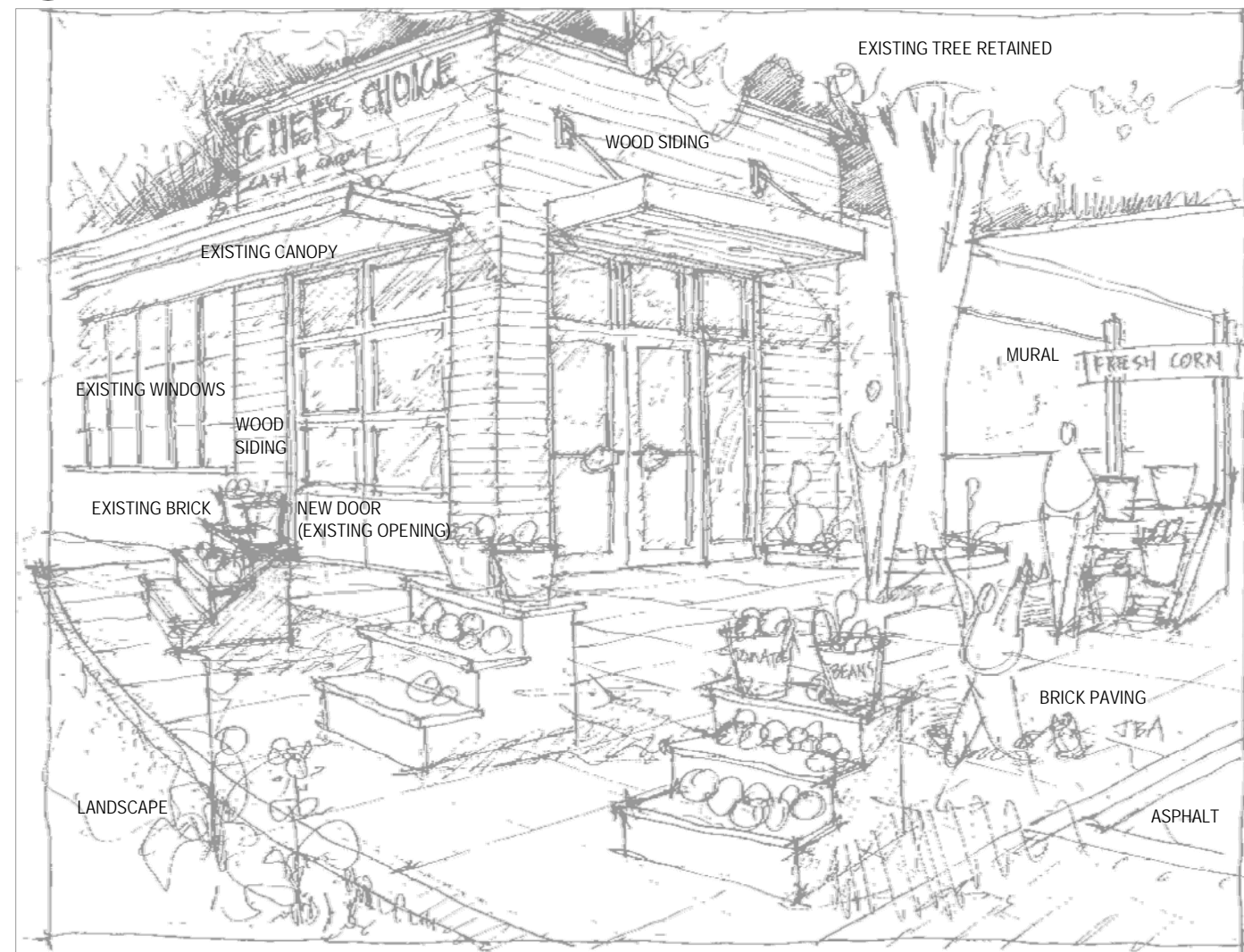
OBC 3.3.1.1 Separation of Suites
Walls separating new retail area from the remainder of building will need to be fire separations with a fire resistance rating of 45 minutes. The new walls that will separate the retail area from the office area will need to be brought up to the underside of the existing roof plane.

SITE WORK

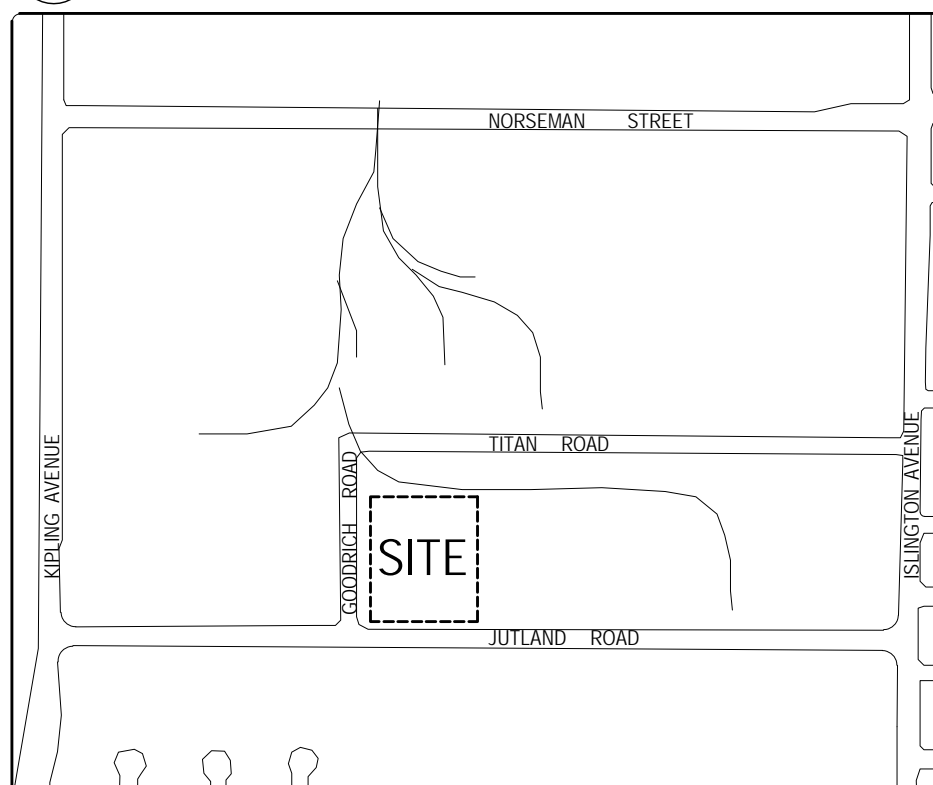
New Asphalt	625 sm
New Concrete curb	104 lm
New Brick Paving	125 sm
New Sodded Area	75 sm



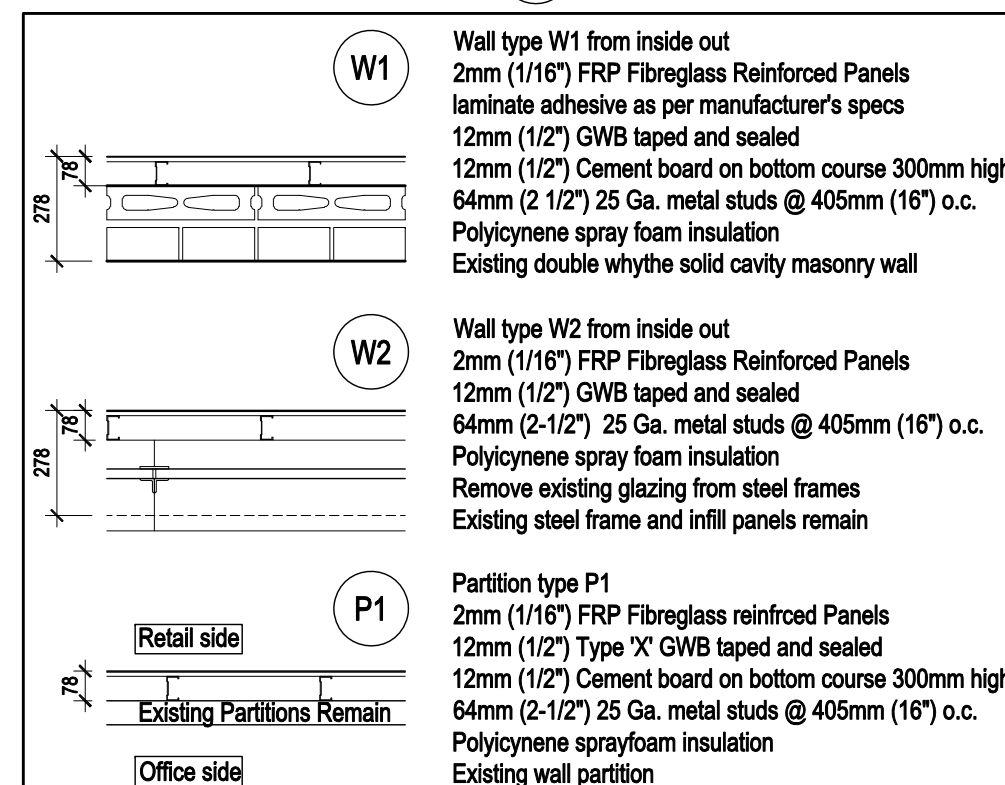
6 PLAN DETAIL AT SOUTHEAST WALL CORNER
A1 Scale: 1"=1'-0"



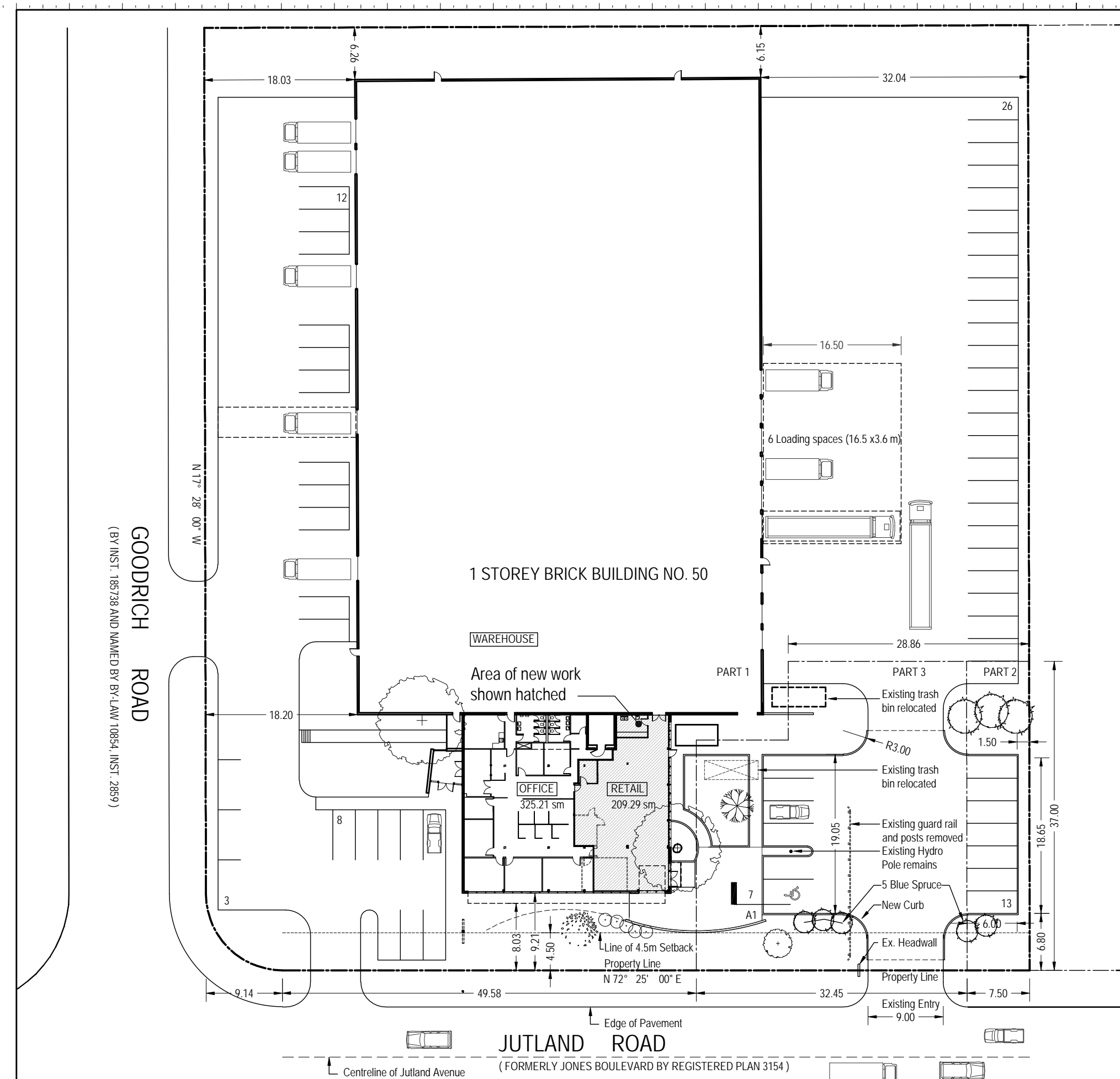
5 SITE SKETCH
A1 Scale: NTS



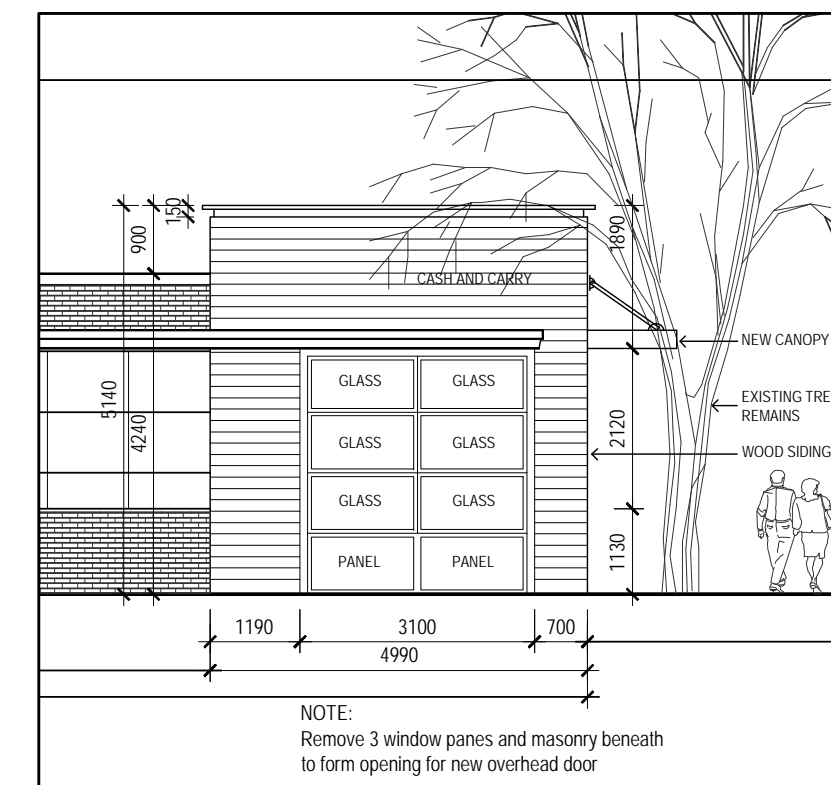
4 KEY MAP
A1 Scale: NTS



3 WALL TYPES
A1 Scale: 1:20



1 SITE PLAN
A1 Scale: 1:500



2 PARTIAL FRONT ELEVATION
A1 Scale: 1:100

LEGAL DESCRIPTION
PART OF LOT 161
REGISTRAR'S COMPILED PLAN 9875
CITY OF ETOBICOKE
MUNICIPALITY OF METROPOLITAN TORONTO
INFORMATION FOR THIS SITE PLAN TAKEN FROM SURVEY PREPARED BY BENNET AND NORGRAVE LIMITED AUGUST 30, 1991

DRAWING LIST
A1 SITE PLAN / GENERAL NOTES
A2 FLOOR PLAN
A3 FLOOR PLAN DIAGRAMS
A4 ELEVATIONS / SECTIONS
A5 DETAILS

SITE PLAN / GENERAL NOTES

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This drawing is the Property of John Boone Architect and may be used for this project only. Scale from drawings for reference only. Dimensions to be checked and verified by the contractor on site.

50 JUTLAND ROAD
Toronto, Ontario

DRAWING SCALE AS NOTED
PROJECT DATE JUNE 10 2005
PROJECT NUMBER 05A06
DRAWN BY JB

PLOT DATE : August 15, 2005

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